



City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010
NAPOLEON, OHIO 43545-0151

February 17, 1988

Mayor
Steven Lankenau

Members of Council
James Hershberger, President

Lawrence Haase
Donald Stevens

Terri A. Williams
John E. Church
Randy J. Bachman

City Manager

Clerk-Treasurer
Rupert W. Schweinhagen

Law Director
Michael J. Wesche

Assistant Law Director
Jeffrey R. Lankenau

Mr. John Riebesel
10 Lakeview
Napoleon, Ohio 43545

Re: Permits No. 01332, 01345 &
01375.

Dear Mr. Riebesel:

This letter shall notify you that permission to occupy the residence located at 10 Lakeview is granted by the Building Inspector with the stipulation that permanent stoops or wood decks etc. be installed on the exterior side of all exit doors when weather conditions become favorable, and the ground has settled.

Please notify my office when the work has been completed and a permanent certificate of occupancy will be issued.

Sincerely,

Eldon Huber
Building Inspector

EH:skw

APPLICATION FOR PERMIT TO TAP SEWER

Owner JOHN RIEBESEK
ADDRESS 339 CARRY ST.
CONTRACTOR GERMAN BUILDERS
ADDRESS 970 OAKWOOD TEL. 592-1806

NO. _____
BLDG. PERMIT 01332
DIPECTION
~~PERMIT~~ FEE \$ 60.00
STREET BOND NOT REQ.
DATE PAID 3-11-87
For office use only

LOCATION OF CONNECTION

Street and No. 10 CAKEWALK DR Sanitary Storm
Lot No. 5 Subdivision BAUMAU'S SUB DIV. Size of Tap 4"
Size and Type of Sewer 4" P.V.C. ALL WORK MUST BE INSPECTED
Street to be opened-Yes No Opening bond fee set by Engineer \$ NOT REQ.
Street opening agreement approval date _____

I certify that the sewer will be used only as indicated and no other drainage will be connected.

Date _____ Signature _____ Owner-Builder-Agent _____

DO NOT WRITE BELOW THIS LINE

INSPECTION RECORD

Date Inspected 4-8-87 Size and Type of Sewer 4" P.V.C. (SH35)
Location SEE PUGH Depth SEE Dwg Type of Test NONE
Inspected and Approved by: M. HELBERG 4-8-87 Date
Inspector
Additional information SEE ATTACHED PLOT PLAN

Send copy to: _____

KETCH OF INSTALLATION - ON BACK

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT
255 West Riverview Avenue, Napoleon, Ohio 43345 - 419-592-4010

Permit No. 01375 Issued June 1, 1987 date

Job Location 10 Lakeview address

Lot 5 Eauman's Subdivision
sub-div or legal discript

Issued By Eldon Huber
building official

Owner John Riebesel
name

Address 339 Carey St. tel.

Agent Self
builder-eng.-etc. tel.

Address _____

Description of Use Residence

Residential 1 no. dwelling units

Commercial Industrial

New X Add'n. Alter Remodel _____

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 6,500.00

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
<u>5</u>	<u>100' X 127.5'</u>	<u>12,250 S.F.</u>	<u>40'</u>	<u>R-17' L-17'</u>	<u>32.5'</u>
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
<u>16'</u>	<u>2-min.</u>				

WORK INFORMATION:

Size: Length 28' Width 32'± varies Stories 1 Ground Floor Area 1683 S.F.
Height 24' 8" 691 S.F.

Electrical: 200 AMP underground service + 30 circuit cu. ft.

Plumbing: See permit No. 01345 brief description

Mechanical: See permit No. 01345 brief description

Sign: N.A. Dimensions Sign Area **PAID**

Additional Information: Provide smoke detector as req.

Date 7-14-87 Applicant Signature John Riebesel owner-agent **JUL 14 1987**

CITY OF NAPOLEON

INSPECTION RECORD

UNDERGROUND			ROUGH-IN			FINAL	
Type	Date	By	Type	Date	By	Type	Date
PLUMBING	Building Drains		Drainage, Waste & Vent Piping			Drainage, Waste & Vent Piping	
	Water Piping			Indirect Waste		Backflow Prevention	
	Building Sewer		Water Piping			Water Heater	
	Sewer Connection			Condensate Lines		FINAL APPROVAL	
MECHANICAL	Refrigerant Piping		Refrigerant Piping			Grease Exhaust System	
			Duct Furnace(s)			Air Cond. Unit(s)	
	Ducts/Plenums		Ducts/Plenums			Refrigeration Equipment	
			Duct Insulation			Furnace(s)	
ELECTRICAL	Conduits & Cable		Conduits/Cable			FINAL APPROVAL	
	Grounding & Bonding		Rough Wiring			Temp Service Temp Lighting	
	Floor Ducts Raceways		Service Panel Switchboard			Fixtures Lampholders	
	Service Conduit		Busways Ducts			Signs	
BUILDING	Temporary Power Pole		Subpanels			Electric Mtr. Clearance	
	Location, Set-backs, Esmt(s)		Exterior Wall Construction			FINAL APPROVAL	8/27/24
	Excavation			Roof Covering Roof Drainage		Smoke Detector	
	Footings & Reinforcing			Exterior Lath		Demolition (sewer cap)	
ADDITIONAL	Floor Slab		Interior Wall Construction			Building or Structure	
	Foundation Walls		Columns & Supports				
	Sub-soil Drain		Crawl Space			FINAL APPROVAL BLDG. DEPT.	
	Piles		Floor System(s)			Certificate of Occupancy Issued	
			INSPECTIONS, CORRECTIONS, ETC.			INSPECTIONS, CORRECTIONS, ETC.	

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON
255 West Riverview Ave.
Napoleon, Ohio 43545
419/592-4010

ADDENDUM TO Permit No. 01375- (1)
Owner WPAO REDEVELOPMENT
Contractor SELF
Location 10 LAKEDALE

Use note the items checked below and incorporate them into your plans as indicated: PERMIT NOT ISSUED, CORRECT PLANS AND RE-SUBMIT. PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

GENERAL		
Provide approved smoke detector(s) as req'd.		Show size of members supporting porch roof.
Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.		Provide double top plate for all bearing partitions and exterior walls.
Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)		Provide design data for prefab wood truss.
Submit fully dimensioned plot plan.		Ceiling joists undersized in _____.
Provide min. of 1-3'0" x 6'8" exit door.		Roof rafters undersized in _____.
Provide min. 22" x 30" attic access opening.		PLUMBING AND MECHANICAL
Provide min. 18" x 24" crawl space access opening.		Terminate all exhaust systems to outside air
Provide approved sheathing or flashing behind masonry veneer.		Insulate ducts in unheated areas.
Provide min. 15# underlayment on roof.		Provide backflow prevention device on all hose bibs.
Provide adequate fireplace hearth.		Terminate pressure and temperature relief valve drain in an approved manner.
Install factory built fireplaces/stoves according to manufacturers instructions.		Provide dishwasher drain with approved air gap device.
Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.		METAL VENEERS
LIGHT AND VENTILATION		Contact City Utilities Dept. to remove conductors and/or meter.
Provide mechanical exhaust or window in bathroom		Provide approved system of grounding and bonding.
Provide min. _____ Sq. In. net free area attic ventilation.		ELECTRICAL
Provide min. _____ Sq. In. net free area crawl space ventilation.		Show location of service entrance panel and service equipment panel.
FOUNDATION		G. F. C. I. req'd. on temporary electric.
Min. depth of foundation below finished grade is 32".		Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I.
Min. size of footer " x "		Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.
Provide anchor bolts 1/2" @ 6' o.c. 1' from each corner. Embedded 7" in concrete and 15" in masonry.		Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.
Show size of basement columns.		INSPECTIONS
FRAMING		The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs. prior to the time the inspection is to be made.
Show size of wood girder in _____.		Footers and Setbacks.
Provide design data for structural member in _____.		Foundation.
Floor joists undersized in _____.		Plumbing rough-in.
Provide double joists under parallel bearing partitions.		Plumbing final.
Provide 1" x 4" let in corner bracing, approved sheathing, or equal.		Electrical service.
Show size of headers for openings over 4' wide		Electrical rough-in.
		Electrical final
		Building sewer.
		HVAC rough-in.
		Final Building other,

Additional Corrections. PROVIDE SMOKE DETECTOR AS REQ.
PROVIDE G.F.C.I. FOR BATHROOM, GARAGE, KITCHEN RECEPTACLES,
NOTE: CONTACT DAVE MARSHALL FOR ELECTRICAL INSPECTIONS.

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. 01375 and made a part thereof. DATE APPROVED OR DISAPPROVED 5-28-87 Checked by SH

DATE RECHECKED AND APPROVED _____ Checked by _____ Plan Examiner.

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT
 255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01332 Issued 3-31-87 date

Job Location 10 Lakeview Drive address

Lot 5 Bauman's Subdivision sub-div or legal discript

Issued By Eldon Huber building official

Owner John Riebesel name

Address 339 Carey Street tel.

Agent German Builders 592-1806 tel.
 builder-eng.-etc. 970 Oakwood

Address 970 Oakwood

Description of Use Residence

Residential 1 no. dwelling units

Commercial Industrial

New Add'n. Alter Remodel

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 61,000.00

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
S	100' x 127.5'	12,250 S.F.	40'	R-17' L-17'	32.5'
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
16'	2-min.		30%		

WORK INFORMATION:

Size: Length 64' Width 32'+- varies Stories 1 Garage 691 S.F.
 Height 28' x 24'8" Building Volume (for demo. permit) _____ cu. ft.
 Electrical: Apply for seperately Ground Floor Area 1683 S.F.

Plumbing: Apply for seperately brief description

Mechanical: Apply for seperately brief description

Sign: N.A. Dimensions Sign Area

Additional Information: New residence see plan correction sheet.

Date 4-7-87 Applicant Signature [Signature] owner-agent

<input checked="" type="checkbox"/>	BUILDING	6.00	123.75	129.75
<input type="checkbox"/>	ELECTRICAL			
<input type="checkbox"/>	PLUMBING			
<input type="checkbox"/>	MECHANICAL			
<input type="checkbox"/>	DEMOLITION			
<input checked="" type="checkbox"/>	ZONING	5.00		5.00
<input type="checkbox"/>	SIGN			
<input type="checkbox"/>	XWATER TAP	300.00		300.00
<input type="checkbox"/>	XSEWER TAP	60.00		60.00
<input type="checkbox"/>	XTEMP. ELECT.	10.00		10.00

ADDITIONAL Struct. _____ hrs

REVIEW Elect. _____ hrs

TOTAL FEES.....504.75

LESS MIN. FEES PAID _____

BALANCE DUE.....

PAID

Mechanical: Apply for seperately brief description

APR 7 1987

Sign: N.A. Dimensions Sign Area CITY OF NAPOLEON

INSPECTION RECORD

UNDERGROUND			ROUGH-IN			FINAL		
Type	Date	By	Type	Date	By	Type	Date	By
PLUMBING	Building Drains		Drainage, Waste & Vent Piping			Drainage, Waste & Vent Piping		
	Water Piping		Water Piping			Backflow Prevention		
	Building Sewer		Water Piping			Water Heater		
	Sewer Connection					FINAL APPROVAL		
MECHANICAL	Refrigerant Piping		Refrigerant Piping			Grease Exhaust System		
	Ducts/Plenums		Duct Furnace(s)			Air Cond. Unit(s)		
			Ducts/Plenums			Refrigeration Equipment		
			Duct Insulation			Furnace(s)		
ELECTRICAL	Conduits & Cable		Conduits/Cable			Temp Service Temp Lighting		
	Grounding & Bonding		Rough Wiring			Fixtures Lampholders		
	Floor Ducts Raceways		Service Panel Switchboard			Signs		
	Service Conduit		Busways Ducts			Electric Mtr. Clearance		
BUILDING	Temporary Power Pole		Subpanels			FINAL APPROVAL		
	Location, Set-backs, Esmt(s)		Exterior Wall Construction	5/21	FX	Smoke Detector	1/25	FX
	Excavation	4/9				Demolition (sewer cap)		
	Footings & Reinforcing	4/10				Building or Structure		
ADDITIONAL	Floor Slab		Interior Wall Construction	5/21	FX			
	Foundation Walls		Columns & Supports					
	Sub-soil Drain		Crawl Space Access	6/1	FX	FINAL APPROVAL BLDG. DEPT.	5/7	FX
	Piles		Floor System	6/1	FX	Certificate of Occupancy Issued	6/3	FX

INSPECTIONS, CORRECTIONS, ETC.

INSPECTIONS, CORRECTIONS, ETC.

NEARBY LATER FOR BRICK LEDGERS FLASHING CORNER BRACING OK
ADD SMOKE DETECTOR TO BASEMENT

5/21 FX
 5/21 FX
 6/1 FX
 6/1 FX

5/21 FX
 5/21 FX
 6/1 FX
 6/1 FX

5/7 FX
 6/3 FX

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01345 Issued 4-9-87 date

Job Location 10 Lakeview Drive address

Lot 5 Bauman's Sub. Div. sub-div or legal discript

Issued By Eldon Huber building official

Owner John Riebesel name

Address 339 Carey St. tel.

Agent Bills Pl. & Htg. builder-eng.-etc. tel.

Address 1201 Woodlawn

Description of Use Residence

Residential 1 no. dwelling units

Commercial Industrial

New X Add'n. Alter Remodel

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 40,000.00

	FEES	BASE	PLUS	TOTAL
<input type="checkbox"/>	BUILDING			
<input type="checkbox"/>	ELECTRICAL			
<input checked="" type="checkbox"/>	PLUMBING	6.00	28.00	34.00
<input checked="" type="checkbox"/>	MECHANICAL	12.00	12.60	24.60
<input type="checkbox"/>	DEMOLITION			
<input type="checkbox"/>	ZONING			
<input type="checkbox"/>	SIGN			
	WATER TAP			
	SEWER TAP			
	TEMP. ELECT.			
	ADDITIONAL PLAN REVIEW	Struct. _____ hrs		
		Elect. _____ hrs		
	TOTAL FEES.....			58.60
	LESS MIN. FEES PAID _____ date			
	BALANCE DUE.....			

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
S	100' x 127.5'	12,250 S.F.	40'	R-17' L-17'	32.5'
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
16'	2-min.	30%			

WORK INFORMATION:

Size: Length 64' Width 32' +- Stories 1 Garage 691 S.F.
 Height _____ Building Volume (for demo. permit) _____ cu. ft.
 Electrical: Apply for seperately brief description _____
 Plumbing: 2 1/2 bath kitchen & laundry brief description _____
 Mechanical: 130,000 B.T.U. Nat. gas H.W. Boiler brief description _____

Sign: N.A. Dimensions _____ Sign Area PAID
 Additional Information: New residence (see permit no. 01332) APR 9 1987

Date 8-9-87 Applicant Signature William Elmy owner-agent
 CITY OF NAPOLEON

INSPECTION RECORD

UNDERGROUND			ROUGH-IN			FINAL	
Type	Date	By	Type	Date	By	Type	Date
PLUMBING	Building Drains		Drainage, Waste & Vent Piping	4/14	5/2	Drainage, Waste & Vent Piping	8/6
	Water Piping		<i>BASEMENT</i> ENTIRE SYSTEM	6/8	5/7	Backflow Prevention	8/6
	Building Sewer		Water Piping			Water Heater	8/6
	Sewer Connection					FINAL APPROVAL	8/6
MECHANICAL	Refrigerant Piping		Refrigerant Piping			Chimney(s)	
			Duct Furnace(s)			Fire Dampers	
	Ducts/Plenums		Ducts/Plenums			<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)	
			Duct Insulation			Pool Heater	
ELECTRICAL			Combustion Products Vents			Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.	
	Conduits & or Cable		Conduits/Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer	
	Grounding & or Bonding		Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors	
	Floor Ducts Raceways		Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder	
	Service Conduit		Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable	
	Temporary Power Pole		Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)	
	Location, Set-backs, Esmt(s)		Exterior Wall Construction			Roof Covering Roof Drainage	
	Excavation					Exterior Lath	
	Footings & Reinforcing					<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard	
	Floor Slab		Interior Wall Construction			Fire Wall(s)	
BUILDING	Foundation Walls		Columns & Supports			Fireplace Chimney	
	Sub-soil Drain		Crawl Space <input type="checkbox"/> Vent <input type="checkbox"/> Access			Attic <input type="checkbox"/> Vent <input type="checkbox"/> Access	
	Piles		Floor System(s)			Special Insp Reports Rec'd	
			Roof System			FINAL APPROVAL BLDG. DEPT.	
ADDITIONAL						Certificate of Occupancy Issued	
						Smoke Detector	
						Demolition (sewer cap)	
						Building or Structure	
			INSPECTIONS, CORRECTIONS, ETC.			INSPECTIONS, CORRECTIONS, ETC.	

1792

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON
255 West Riverview Ave.
Napoleon, Ohio 43545
419/592-4010

ADDENDUM TO Permit No. 01385-11
Owner JOHN ALBERTS
Contractor BILL RIEBERG
Location 10 CAKEVIEW DR

Please note the items checked below and incorporate them into your plans as indicated: PERMIT NOT ISSUED, CORRECT PLANS AND RE-SUBMIT. PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

GENERAL	
Provide approved smoke detector(s) as req'd.	
Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.	
Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)	
Submit fully dimensioned plot plan.	
Provide min. of 1-3'0" x 6'8" exit door.	
Provide min. 22" x 30" attic access opening.	
Provide min. 18" x 24" crawl space access opening.	
Provide approved sheathing or flashing behind masonry veneer.	
Provide min. 15# underlayment on roof.	
Provide adequate fireplace hearth.	
Install factory built fireplaces/stoves according to manufacturers instructions.	
Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.	
LIGHT AND VENTILATION	
Provide mechanical, exhaust or window in bathroom	
Provide min. _____ Sq. In. net free area attic ventilation.	
Provide min. _____ Sq. In. net free area crawl space ventilation.	
FOUNDATION	
Min. depth of foundation below finished grade is 32".	
Min. size of footer _____" x _____"	
Provide anchor bolts, 1/2" @ 6' o.c. 1' from 15" in masonry.	
Show size of basement columns.	
FRAMING	
Show size of wood girder in _____.	
Provide design data for structural member in _____.	
Floor joists undersized in _____.	
Provide double joists under parallel bearing partitions.	
Provide 1" x 4" let in corner bracing, approved sheathing, or equal.	
Show size of headers for openings over 4' wide _____.	
Additional Corrections.	

Show size of members supporting porch roof.	
Provide double top plate for all bearing partitions and exterior walls.	
Provide design data for prefab wood truss.	
Ceiling joists undersized in _____.	
Roof rafters undersized in _____.	
PLUMBING AND MECHANICAL	
Terminate all exhaust systems to outside air.	
Insulate ducts in unheated areas.	
Provide backflow prevention device on all hose bibs.	
Terminate pressure and temperature relief valve drain in an approved manner.	
Provide dishwasher drain with approved air gap device.	
METAL VENEERS	
Contact City Utilities Dept. to remove conductors and/or meter.	
Provide approved system of grounding and bonding.	
ELECTRICAL	
Show location of service entrance panel and service equipment panel.	
G. F. C. I. req'd. on temporary electric.	
Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I.	
Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.	
Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.	
INSPECTIONS	
The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs. prior to the time the inspection is to be made.	
Footers and Setbacks.	Building sewer.
Foundation.	<input checked="" type="checkbox"/> HVAC rough-in.
Plumbing rough-in.	Final Building
Plumbing final.	other,
Electrical service.	
Electrical rough-in.	
Electrical final	

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. 01385-11 and made a part thereof. DATE APPROVED OR DISAPPROVED 4-9-87 Checked by ELOON HUDER

DATE RECHECKED AND APPROVED _____ Checked by _____
Plan Examiner.

FIELD CORRECTION NOTICE

LOCATION 10 CALEVIEW PERMIT NO. 01375

ISSUED TO JOHN RIBBESE
PERMIT HOLDER AND/OR ALL RESPONSIBLE PARTIES.

NOTICE DELIVERED TO JOHN RIBBESE 339 COREY ST

Upon inspection, violations of the (A.I.C.) Sec. _____ were in evidence.

The following orders are hereby issued for their correction: LAWN

SMART PLYWOOD IN THE PARLOR WITHIN AREA

BEFORE YOU OCCUPY THE HOUSE FOR YOUR OWN

PROTECTION YOU FOLLOWING WHICH HE CORRECTED.

WAS A 3'x2'x4' BOARD AT THE EXTREME END OF THE

GARAGE DOOR, WHICH IS AT THE FRONT DOOR,

IN VIEW OF THE PERMITS O.K. DATE YOU

WAS INSTALLED - LAWN AT THE WITHIN (WITHIN RAINFOOT)

PLEASE CALL FOR INSPECTION WHEN CORRECTIONS HAVE BEEN COMPLETED. ACCEPTANCE AND APPROVAL BY AN INSPECTOR OF THIS DEPARTMENT IS REQUIRED AND MUST BE CORRECTED

ON OR BEFORE YOU OCCUPY THE HOME

DATE 5-14-67 BY LEON JAMES INSPECTOR

PINK - ORIGINAL COPY WHITE - FIELD COPY YELLOW - FILE COPY

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01332 Issued 3-31-87 date

Job Location 10 CAKEVIEW DR address

Lot 5 BRUNAN'S SUBDIVISION sub-div or legal discript

Issued By FA building official

Owner JOHN FIEBESEL name

Address 339 CARKY ST tel.

Agent GERMAN BUILDERS builder-eng.-etc. 592-1806 tel.

Address 970 OAKWOOD

Description of Use RESIDENCE

Residential / no. dwelling units

Commercial / Industrial

New X Add'n. Alter Remodel

Mixed Occupancy

Change of Occupancy

Estimated Cost \$ 61,000.00

	FEES	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> BUILDING		600.00 <u>123.75</u>		<u>123.75</u>
<input type="checkbox"/> ELECTRICAL				
<input type="checkbox"/> PLUMBING				
<input type="checkbox"/> MECHANICAL				
<input type="checkbox"/> DEMOLITION				
<input checked="" type="checkbox"/> ZONING		<u>5.00</u>	<u>1.00</u>	<u>5.00</u>
<input type="checkbox"/> SIGN				
<u>X</u> WATER TAP		<u>300.00</u>	<u>1.00</u>	<u>300.00</u>
<u>X</u> SEWER TAP		<u>60.00</u>	<u>1.00</u>	<u>60.00</u>
TEMP. ELECT.		<u>10.00</u>	<u>1.00</u>	<u>10.00</u>
ADDITIONAL PLAN REVIEW	Struct. _____ hrs			
	Elect. _____ hrs			
TOTAL FEES.....				<u>504.75</u>
LESS MIN. FEES PAID				
BALANCE DUE.....				

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
<u>5</u>	<u>160' x 127.5'</u>	<u>12,150 S.F.</u>	<u>40'</u>	<u>R-111 L-171</u>	<u>32.5'</u>
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
<u>16'-0"</u>	<u>2-MIN</u>	<u>30%</u>			

WORK INFORMATION:

Size: Length 68' Width 321 Stories 1 CARAGE 691 S.F.
 Height 16.83 Building Volume (for demo. permit) 1683 S.F. cu. ft.

Electrical: APPLY FOR SEPARATELY

Plumbing: APPLY FOR SEPARATELY

Mechanical: APPLY FOR SEPARATELY

Sign: N/A Dimensions

Additional Information: NEW RESIDENCE SEE PLAN CORRECTION SHEET

Date _____ Applicant Signature _____

owner-agent _____
 White-Building Department Yellow-Applicant Pink-Electrical Inspector Green-Clerk-Treasurer Gold-County Auditor

CITY OF NAPOLEON
ENGINEERING DEPARTMENT
APPLICATION FOR HEATING PERMIT
(PLEASE PRINT OR TYPE)

The undersigned hereby makes application for the installation, replacement or alteration of a heating system or device as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Mechanical Code for 1, 2 and 3 Family Buildings.

Owner's Name JOHN RIEBESEL Address 339 CAREY
Contractor's Name BILL'S PLB6d HTG Address 1201 WOODLAWN Tel. 599-1756

LOT INFORMATION:

Location of Project BAUMAN LR Lot # _____
Subdivision _____ Zoning District _____

BUILDING INFORMATION:

Single Family Double Family _____ Multiple _____ New Construction _____
Addition _____ Remodel _____ Replacement _____ No. of Stories _____

DESCRIPTION OF WORK

Heating System - Warm Air _____ Hot Water Steam _____ Electric _____
Unit Heaters _____ Unit Gas Heaters _____ Other _____
Type - Gravity _____ Forced _____ Radiant _____
No. of Thermostatical Heating Zone 2
Hot Water - One Pipe Two Pipe _____ Series Loop _____
Electric Heat - No. of Circuits _____ Other _____
Total Heat Loss of Area to be Heated 81,620 Btu.
Rated Capacity of Furnace/Boiler 130,000 BTU INPUT Btu.

No. of Furnances _____ No. of Hot Air Runs _____
No. of Hot Water Radiators 154 PA Type of Fuel NAT GAS
Heating Units Located: Crawl Space _____ Floor Level _____ Suspended _____
Roof or Exposed to Outside Air _____ Attic _____ Other _____
APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: LOCATION OF FURNACE OR UNIT HEATERS AND SIZE AND LOCATION OF FEEDER DUCTS AND RETURN AIR DUCTS. ALL PLANS SHALL BE DRAWN TO SCALE.
ESTIMATED COST OF COMPLETED PROJECT: 18,000.00

DATE 4-9-87 APPLICANT'S SIGNATURE William Elbow
OWNER-CONTRACTOR-AGENT

Permitted work shall be completed in accordance with the installation or placement of plumbing
work in a building, including but not limited to, all work with or without a permit, except for the
following: (1) work in a building which is not a dwelling unit; (2) work in a building which is not a
dwelling unit; (3) work in a building which is not a dwelling unit; (4) work in a building which is not a dwelling unit.

Contractor's Name: JOHN RIEBESEL Address: 339 CAREY
Contractor's Contact: BILL'S PLB&HTG Telephone No: 599-1786
1201 WOODLAWN Telephone No: 00

LOCATION 10 CAKEVIEW FIELD CORRECTION NOTICE

ISSUED TO JOHN RIEBESEL PERMIT NO. 0137
NOTICE DELIVERED TO JOHN RIEBESEL ALL RESPONSIBLE PARTIES.

Upon inspection, violations of the C.A.D.O. RIESEL 339 CAREY ST.

The following orders are hereby issued for their correction: INSTALL 1. ADDITIONAL were in evidence.
SMOKE DETECTOR IN THE BATHROOM UTILITIES AREA

BEFORE YOU OCCUPY THE HOUSE FOR YOUR OWN OK
PROTECTION THE FOLLOWING SHOULD BE COMPLETED

INSTALL A 3'0" X 7'0" LANDING AT THE EXTERIOR SIDE OF THE
CARABR DOOR, INITIAL STEPS AT THE FRONT DOOR,

IN VIEW OF THE PERMITTED DECK OR PATIO YOU
SHALL INITIAL TEMP AT THE KITCHEN LIVING ROOMS

PLEASE CALL FOR INSPECTION WHEN CORRECTIONS HAVE BEEN COMPLETED. ACCEPTANCE
AND APPROVAL BY AN INSPECTOR OF THIS DEPARTMENT IS REQUIRED AND MUST BE CORRECTED

ON OR BEFORE YOU OCCUPY THE HOUSE

DATE 8-10-87
BY LEON HOFER INSPECTOR

PINK - ORIGINAL COPY WHITE - FIELD COPY YELLOW - FILE COPY

4-9-87

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT
255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01375 Issued 5-28-87 date
Job Location 10 CAKEVIEW address

Lot 5 BAUMANN'S SUB DIV address
Issued By EH sub-div or legal discript

Owner JOHN RIEBESSEL building official name
Address 339 CAREY ST tel.

Agent SELF builder-eng.-etc. tel.
Address _____ tel.

Description of Use REINFORC

Residential / no. dwelling units
Commercial _____ Industrial _____

New X Add'n. Alter _____ Remodel _____

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 6500.00

	FEES	BASE	PLUS	TOTAL
BUILDING				
ELECTRICAL		<u>10.00</u>	<u>60.00</u>	<u>70.00</u>
PLUMBING				
MECHANICAL				
DEMOLITION				
ZONING				
SIGN				
WATER TAP				
SEWER TAP				
TEMP. ELECT.				

ADDITIONAL PLAN REVIEW Struct. _____ hrs
Elect. _____ hrs

TOTAL FEES..... 70.00

LESS MIN. FEES PAID _____ date

BALANCE DUE..... _____

ZONING INFORMATION

district	lot dimensions	area	front, yd	side yds	rear yd
<u>5</u>	<u>100' X 177.5'</u>	<u>12250 S.F.</u>	<u>90'</u>	<u>R-171 C-171</u>	<u>32.5'</u>
max hgt	no pkg spaces	no lgd spaces	max cover	petition or appeal req'd	date appr
<u>16'</u>	<u>2-MIN</u>				

WORK INFORMATION:

Size: Length 69' Width 32' 1/2 VARI Stories 1

Height _____ Building Volume (for demo. permit) _____

Electrical: 200 AMP UNDERGROUND SERVICE 50 CIRCUITS _____ cu. ft.

Plumbing: SEE PERMIT NO 01345 brief description

Mechanical: SEE PERMIT NO 01345 brief description

Sign: JA Dimensions _____ Sign Area _____

Additional Information: PROVIDE SMOKE DETECTOR AS REQ.

Date _____ Applicant Signature _____

owner-agent _____

White-Building Department Yellow-Applicant _____

Pink-Electrical Inspector _____

Green-Clerk-Treasurer _____

Gold-County Auditor _____

CITY OF NAPOLEON
BUILDING INSPECTION DEPARTMENT
APPLICATION FOR ELECTRICAL PERMIT
(Please print or type)

I undersigned hereby makes application for installation or replacement of electrical equipment as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Electrical Codes.

Applicant's Name John A. Pegg S. Diebesel Address 339 Casey St.
Electrical Contractor ~~John A. Pegg~~ S. Diebesel Telephone No. 592-6953

Address 339 Casey St. Napoleon, Ohio
General Contractor Art Germain Telephone No. 592-1806

Address 910 Oakwood Ave. Napoleon, Ohio
Location of Project 10 Baker Street Dr. Cost of Project MATERIAL 3500

Work Information:

Residential SINGLE FAMILY Commercial _____ Industrial _____
No. Units _____

With Service Change _____ Rewiring _____ Additional Wiring _____

Brief Description of Work: NEW SERVICE AND BRANCH CIRCUITS
FOR NEW HOME

Size of proposed service entrance 200A. Number of new circuits 30

Type of proposed service entrance _____ Underground Overhead _____

Require Temporary Electric YES _____ (Yes or No)

Total Floor Area - Commercial and Industrial only _____ sq. ft.

Additional Information: _____

Ground fault circuit interrupter protection is required on all 120-volt single phase, 15 and 20 amp. Circuits which are part of a temporary electric service; and also on bathroom, outdoor, and garage receptacles in all dwelling units. Art. 210-8 N.E.C.

Application for permit shall be accompanied by two complete sets of plans including: Electrical layout and riser diagram. (For commercial and industrial work only).

Date 5-28-87 Applicant's Signature John A. Pegg

PERMIT NO. 2

PERMIT FEE \$ _____

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT
255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01345 Issued 4-9-87 date

Job Location 10 LAKEVIEW DR address

Lot 5 BRUMAD'S SOROVILL sub-div or legal district

Issued By FA building official

Owner JOHN RIEBSEK tel.

Address 339 CAREY ST

Agent BILL PILYHTY builder-eng.-etc. tel.

Address 1201 WOODLAWN

Description of Use RESIDENCE

Residential 1 no. dwelling units

Commercial Industrial

New X Add'n. Alter Remodel

Mixed Occupancy

Change of Occupancy

Estimated Cost \$ 40,000.00

FEES	BASE	PLUS	TOTAL
<input type="checkbox"/> BUILDING			
<input type="checkbox"/> ELECTRICAL			
<input checked="" type="checkbox"/> PLUMBING	<u>6.00</u>	<u>28.00</u>	<u>34.00</u>
<input checked="" type="checkbox"/> MECHANICAL	<u>12.00</u>	<u>12.60</u>	<u>24.60</u>
<input type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING			
<input type="checkbox"/> SIGN			
WATER TAP			
SEWER TAP			
TEMP. ELECT.			

ADDITIONAL PLAN REVIEW Struct. _____ hrs
Elect. _____ hrs

TOTAL FEES..... 58.60

LESS MIN. FEES PAID _____

BALANCE DUE..... _____ date

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
<u>S</u>	<u>100' x 127' x 161'</u>	<u>12,250 S.F.</u>	<u>40'</u>	<u>R-17' (1-17)</u>	<u>32.5'</u>
max hgt	no pkg spaces	no lgd spaces	max cover	petition or appeal req'd	date appr
<u>16'</u>	<u>2-HW</u>	<u>30%</u>	<u>30%</u>		

WORK INFORMATION: 28' x 24' 8"

Size: Length 69' Width 32' ± Stories 1 Ground Floor Area 691 S.F.
 Height 10' Building Volume (for demo. permit) _____ cu. ft.

Electrical: APPY FOR SEPARATELY

Plumbing: 2 1/2 BATH KITCHEN & LAUNDRY

Mechanical: 130,000 BTU NAT. GAS HW. BOILER

Sign: NA. Dimensions _____ Sign Area _____

Additional Information: NEW RESIDENCE (SEE PERMIT NO 01332)

Date _____ Applicant Signature _____ owner-agent _____

White-Building Department Yellow-Applicant Pink-Electrical Inspector Green-Clerk-Treasurer Gold-County Auditor

CITY OF NAPOLEON
255 W. Riverview
NAPOLEON, OHIO 43545

message

reply

to

ART GERMAN

▲ FOLD

subject JOHN RIEBESEK'S RESIDENCE
@ 10 LAKEVIEW DR.

THE FLOOR BEAM YOU SUBMITTED
FOR THE TWO LOCATIONS IS APPROVED.
NOTE: I ASSUME THAT THE FLOOR TRUSSES
WILL FRAME INTO THE SIDE OF THE
BEAM WITH METAL HANGERS.

te 5-1-87 signed ELOON HOBER

NDER. Mail white and pink copies with carbon intact.

82 Amsterdam Printing and Litho Corp., Amsterdam, N.Y. 12010

date _____ signed _____

RECEIVER: Reply, retain white copy, return pink copy.

CITY OF WASHINGTON

322 W. BIRCHVIEW

WASHINGTON, OHIO 43262



10 [Handwritten signature]

[Handwritten signature]

4 [Handwritten signature]

ALL THESE [Handwritten signature]

[Handwritten signature]

DATE: [Handwritten date]

[Handwritten signature]

CITY OF NAPOLEON
BUILDING INSPECTION DEPARTMENT
APPLICATION FOR BUILDING PERMIT
(Please print or type)

The undersigned hereby makes application for construction, installation, or alteration work as herein specified, agreeing to do all such work in strict accordance with the City of Napoleon's adopted Building Codes.

Location of project LAKEVIEW DR. Cost of project 61,000 ²⁰⁰

Owner's Name JOHN RIEBESEL Address 339 CAREY ST.

Contractor GERMAN BUILDERS Telephone No. 592-1806

Address 970 OAKWOOD

Lot Information: (Not required for siding job)

Lot No. 5 Subdivision BAUMAN'S

Zoning District S Lot Size 100 ft. X 127.5 ft. Area 13,750 sq. ft.

Setbacks: Front 40' Right Side 17' Left Side 17' Rear 32.5

Work Information:

Residential Commercial _____ Industrial _____

New Construction Addition _____ Remodel _____

Accessory Building _____ Siding BRICK & VINYL
(Specific Type)

Brief Description of Work:----- NEW RESIDENCE

Size: Length 66' Width 55' No. of Stories 1

Area: 1st Floor 1746 sq. ft. Basement _____ sq. ft.

2nd Floor _____ sq. ft. Accessory Bldg. _____ sq. ft.

3rd Floor _____ sq. ft. Other _____ sq. ft.

Additional Information:

APPLICATION FOR PERMIT SHALL BE ACCOMPANIED BY TWO COMPLETE SETS OF PLANS INCLUDING: ELEVATIONS, FLOOR PLANS, CROSS SECTIONS AND PLOT PLAN. IF ADDITION OR REMODELING, SHOW ALL EXISTING STRUCTURES AND THEIR SIZE AND LOCATION. ALL PLANS SHALL BE DRAWN TO SCALE.

Date 3/30/87

Applicant's Signature John Riebesel

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON
255 West Riverview Ave.
Napoleon, Ohio 43545
419/592-4010

ADDENDUM TO Permit No. 01332 (1) PAW. 1
Owner JOHN KUNDEL
Contractor GERMAN BUILDERS
Location _____

Please note the items checked below and incorporate them into your plans as indicated: PERMIT NOT YET ISSUED, CORRECT PLANS AND RE-SUBMIT. PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

GENERAL	
<input checked="" type="checkbox"/> Provide approved smoke detector(s) as req'd.	Show size of members supporting porch roof.
<input type="checkbox"/> Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.	Provide double top plate for all bearing partitions and exterior walls.
<input checked="" type="checkbox"/> Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)	Provide design data for prefab wood truss.
<input type="checkbox"/> Submit fully dimensioned plot plan.	Ceiling joists undersized in _____
<input checked="" type="checkbox"/> Provide min. of 1-3'0" x 6'8" exit door.	Roof rafters undersized in _____
<input type="checkbox"/> Provide min. 22" x 30" attic access opening.	PLUMBING AND MECHANICAL
<input type="checkbox"/> Provide min. 18" x 24" crawl space access opening.	Terminate all exhaust systems to outside air.
<input checked="" type="checkbox"/> Provide approved sheathing or flashing behind masonry veneer.	Insulate ducts in unheated areas.
<input type="checkbox"/> Provide min. 15# underlayment on roof.	Provide backflow prevention device on all hose bibs.
<input type="checkbox"/> Provide adequate fireplace hearth.	Terminate pressure and temperature relief valve drain in an approved manner.
<input type="checkbox"/> Install factory built fireplaces/stoves according to manufacturers instructions.	Provide dishwasher drain with approved air gap device.
<input type="checkbox"/> Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.	METAL VENEERS
<input type="checkbox"/> Provide mechanical exhaust or window in bathroom	Contact City Utilities Dept. to remove conductors and/or meter.
<input type="checkbox"/> Provide min. <u>16/6</u> Sq. In. net free area attic ventilation. <u>NOTE 1/4"</u>	Provide approved system of grounding and bonding.
<input type="checkbox"/> Provide min. _____ Sq. In. net free area crawl space ventilation.	ELECTRICAL
<input type="checkbox"/> Min. depth of foundation below finished grade is 32".	Show location of service entrance panel and service equipment panel.
<input checked="" type="checkbox"/> Min. size of footer " x "	G. F. C. I. req'd. on temporary electric.
<input checked="" type="checkbox"/> Provide anchor bolts 4" 0.6' o.c. 1' from each corner. Embedded <u>7 1/2</u> in concrete and 15" in masonry.	Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I.
<input type="checkbox"/> Show size of basement columns.	Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.
<input type="checkbox"/> FRAMING	Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.
<input type="checkbox"/> Show size of wood girder in _____	INSPECTIONS
<input type="checkbox"/> Provide design data for structural member in _____	The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs. prior to the time the inspection is to be made.
<input type="checkbox"/> Floor joists undersized in _____	Footers and Setbacks. _____ Building sewer.
<input type="checkbox"/> Provide double joists under parallel bearing partitions.	Foundation. _____ HVAC rough-in.
<input type="checkbox"/> Provide 1" x 4" let in corner bracing, approved sheathing, or equal.	Plumbing rough-in. <input checked="" type="checkbox"/> Final Building other, _____
<input type="checkbox"/> Show size of headers for openings over 4' wide _____	Plumbing final. <input checked="" type="checkbox"/> Electrical service. <u>BUILDING FRAMING</u>
	Electrical rough-in. _____
	Electrical final _____

Additional Corrections. PROVIDE 2-10x10x1-01 CRANDOL A MAX. OF 2 1/2" BELOW THE THRESHOLDS AT THE GARAGE MAIN DOOR AND THE DOOR FROM THE HOOR INTO THE GARAGE. (R) 8085610, EQ. IF 1 1/2 VENT AREA IS AT RIDGE.

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. 01332 and made a part here-of. DATE APPROVED OR DISAPPROVED 4-2-81 Checked by SH

DATE RECHECKED AND APPROVED _____ Checked by _____ Plan Examiner.

PLAN CORRECTION SHEET

- Item No. 1 - Provide 1 - 3' x 6'8" exit door.
- Item No. 2 - Provide design information for steel or laminated wood beam in basement.
- Item No. 3 - Provide 3 - 2 x 12 stringers to support the basement stair.
- Item No. 4 - The garage floor is to slope to the doors.
- Item No. 5 - The laundry sink and cloths washer located in the basement shall drain into the sanitary sewer.
- Item No. 6 - The footing drain tile shall drain into the storm sewer.
- Item No. 7 - The roof drains shall spill out onto the ground.
- Item No. 8 - Provide 3' x 3' landings a maximum of 8 1/2" below the threshold at all exit doors.

John Riebesel

10 Kateview

JOB

SHEET NO.

OF

DATE

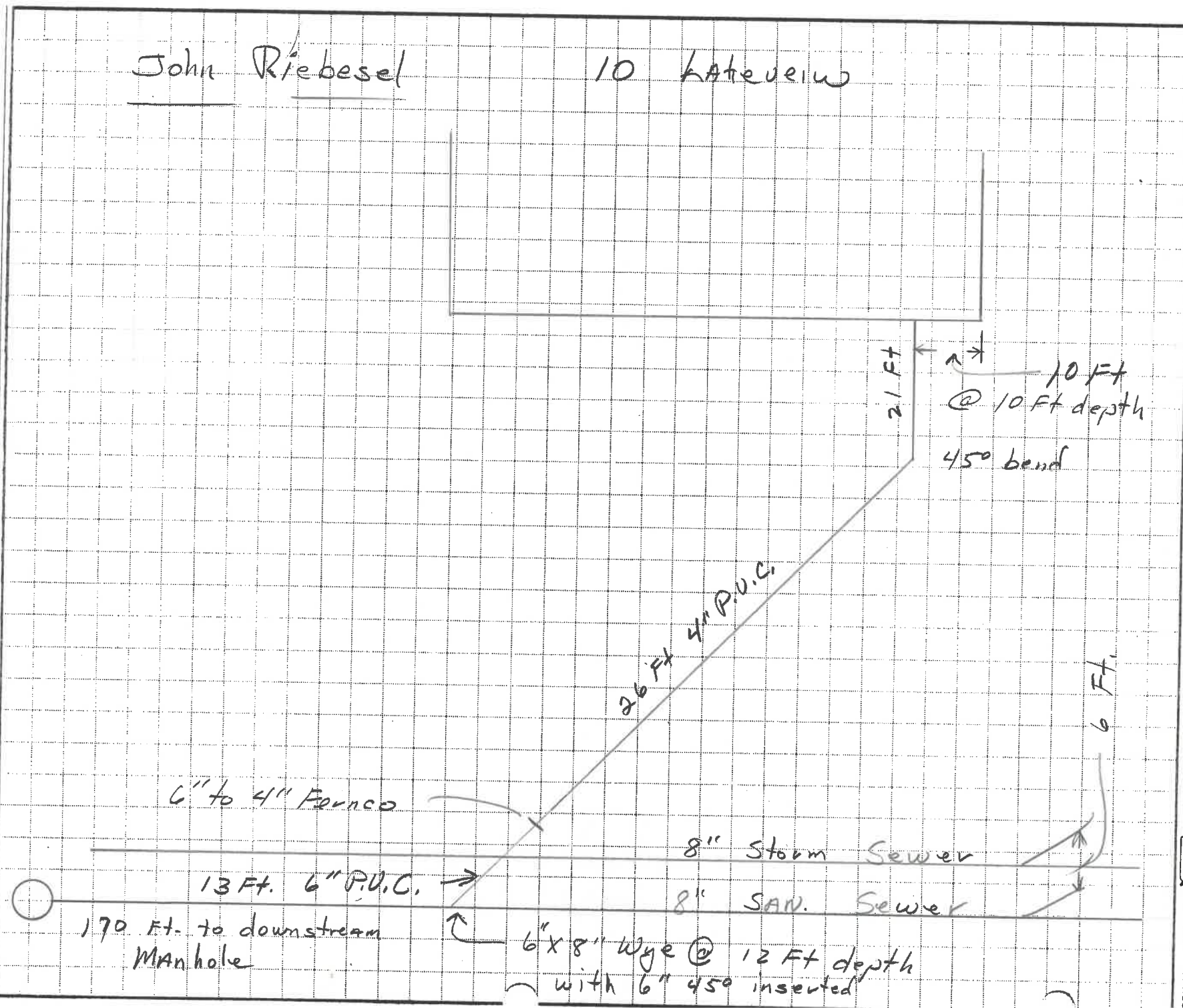
CALCULATED BY

DATE

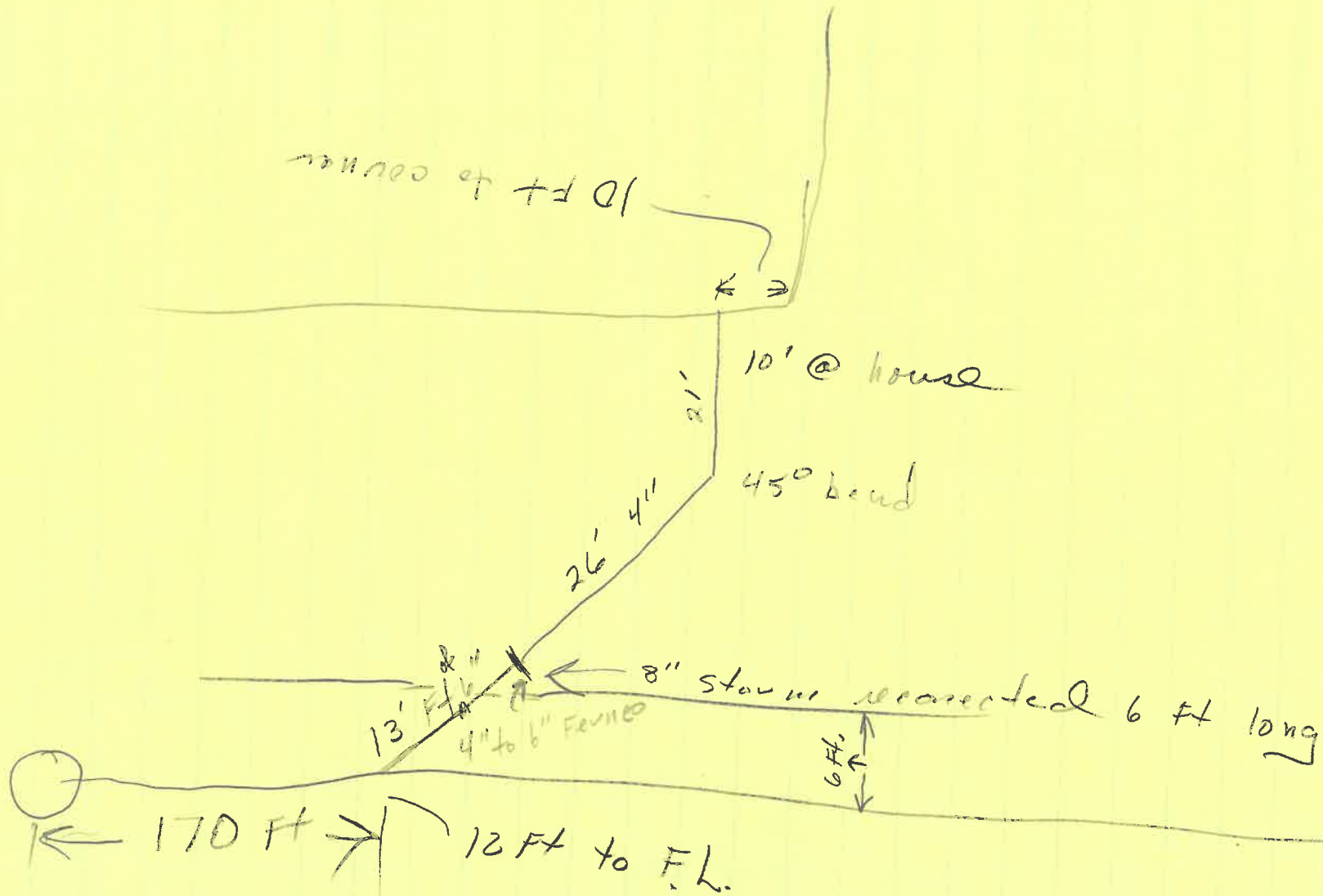
CHECKED BY

SCALE

CITY OF NAPOLEON
ENGINEERING DEPT.
255 W. RIVERVIEW
NAPOLEON, OH 43545



Lakeview Drive



10" CONC BUC FOUND. WALL w/
#3'S @ 16" O.C. VERT & Z - 10" X 8"
BAND BEAMS @ 4'-0" O.C.

1- 3'-0" x 6'-8" EXIT DOOR IS READING
? IS THE FRONT DOOR TO DR A
DOUBLE DOOR R-211 & R-212

PROVIDE DESIGN INFO FOR STEEL
BEAM IN BASEMENT

TRUSSES & FLOOR BEAM OK

? PROVIDE 3- 2X12 STRINGERS

THE LAUNDRY SINK AND WASHER
LOCATED IN THE BASEMENT MUST BE
DRAINED INTO THE SANITARY SEWER,

THE FOOTING DRAIN TILE MUST BE
DRAINED INTO THE STORM SEWER

3- 2X12 STRINGERS ON STAIRWAY

FROM L.R.C. PRODUCTS, WARSAW, INDIANA

FLOOR BEAM SPAN TABLE

5 1/8" ARCHITECTURAL GRADE and 5 1/8" INDUSTRIAL GRADE

SPAN FEET	BEAM DEPTHS									
	9"	10 1/2"	12"	13 1/2"	15"	16 1/2"	18"	19 1/2"	21"	22 1/2"
6	2244 S	2773 S	3368 S	4042 S	4814 S	5704 S	6743 S	7971 S	9445 S	11248 S
7	1834 S	2242 S	2691 S	3188 S	3740 S	4357 S	5052 S	5839 S	6739 S	7778 S
8	1550 S	1881 S	2240 S	2631 S	3057 S	3523 S	4037 S	4605 S	5236 S	5942 S
9	1128*	1620 S	1918 S	2238 S	2583 S	2956 S	3360 S	3800 S	4279 S	4805 S
10	819*	1305*	1676 S	1947 S	2237 S	2546 S	2877 S	3233 S	3617 S	4032 S
11	613*	978*	1464*	1723 S	1971 S	2235 S	2515 S	2813 S	3131 S	3472 S
12	469*	750*	1124*	1545 S	1762 S	1991 S	2233 S	2489 S	2760 S	3048 S
13	367*	587*	881*	1259*	1592 S	1795 S	2007 S	2231 S	2467 S	2715 S
14	291*	467*	702*	1005*	1382*	1633 S	1823 S	2021 S	2229 S	2448 S
15	235*	378*	568*	814*	1121*	1496*	1669 S	1847 S	2033 S	2228 S
16	191*	309*	466*	667*	920*	1229*	1539 S	1701 S	1869 S	2044 S
17	158*	255*	386*	554*	764*	1021*	1330*	1575 S	1728 S	1887 S
18	131*	213*	323*	464*	641*	857*	1117*	1424*	1607 S	1753 S
19	110*	179*	272*	392*	542*	726*	946*	1207*	1502 S	1636 S
20	93*	152*	231*	334*	462*	619*	808*	1032*	1293*	1534 S
21	78*	129*	198*	286*	397*	532*	695*	888*	1113*	1373*
22	67*	111*	170*	247*	343*	460*	602*	769*	965*	1191*
23	57*	95*	147*	214*	297*	400*	524*	670*	841*	1039*
24	49*	82*	128*	186*	260*	350*	458*	587*	737*	911*
25	42*	71*	111*	163*	228*	307*	403*	517*	649*	803*
26	36*	62*	97*	143*	200*	271*	356*	457*	575*	711*
27		54*	85*	126*	177*	240*	315*	405*	510*	632*
28		47*	75*	111*	157*	213*	281*	361*	455*	564*
29		41*	66*	98*	139*	190*	250*	322*	407*	505*
30		36*	58*	87*	124*	169*	224*	289*	365*	453*
31			51*	77*	111*	152*	201*	260*	328*	408*
32			45*	69*	99*	136*	181*	234*	296*	369*
33			40*	61*	89*	122*	163*	211*	268*	334*
34			35*	55*	79*	110*	147*	191*	243*	303*
35			31*	49*	71*	99*	133*	173*	220*	275*
36				43*	64*	89*	120*	157*	200*	251*
37				39*	57*	81*	109*	143*	183*	229*
38				34*	52*	73*	99*	130*	167*	209*
39				31*	46*	66*	90*	119*	152*	191*
40					42*	60*	82*	108*	139*	175*
41					37*	54*	74*	99*	127*	161*
42					33*	49*	68*	90*	117*	148*
43					30*	44*	62*	82*	107*	136*
44						40*	56*	75*	98*	125*
45						36*	51*	69*	90*	115*

FLOOR BEAM TABLE SPECIFICATIONS

These tables apply for uniform loads and simple spans which are laterally supported. The ends of beams must be restrained against rotation. For conditions other than simple spans and uniform loading, special engineering is required.

DESIGN VALUES

- a. Bending Stress $F_b = 2400$ psi
- b. Shear Stress $F_v = 165$ psi
- c. Modulus of Elasticity, $E = 1,800,000$ psi
- d. Design value F_b has been reduced for size factor C_f
- e. Deflections have been limited to 1/360 span for total load for floor beams.
- f. Maximum capacity per lineal foot limited by $S =$ Shear Stress, $B =$ Bending Stress, $*$ = Deflection
- g. Load values are for applied loading. The weight of the beam has been deducted from load carrying capacity.

ART GIERMANN/HARLEON, OHIO
RIEBESSEL RESIDENCE

5 1/8" x 18" x 22'-0" HAS CAPACITY
TO CARRY 602 PLF (FROM TABLE)

$$\frac{21'-8"}{2} = 10'-10" \times 55 \text{ psf} = 596 \text{ PLF (TOTAL LOAD)}$$

CARRY'S 22'-1 1/2" LONG FLOOR TRUSSES (21'-8" CLEAR SPAN)

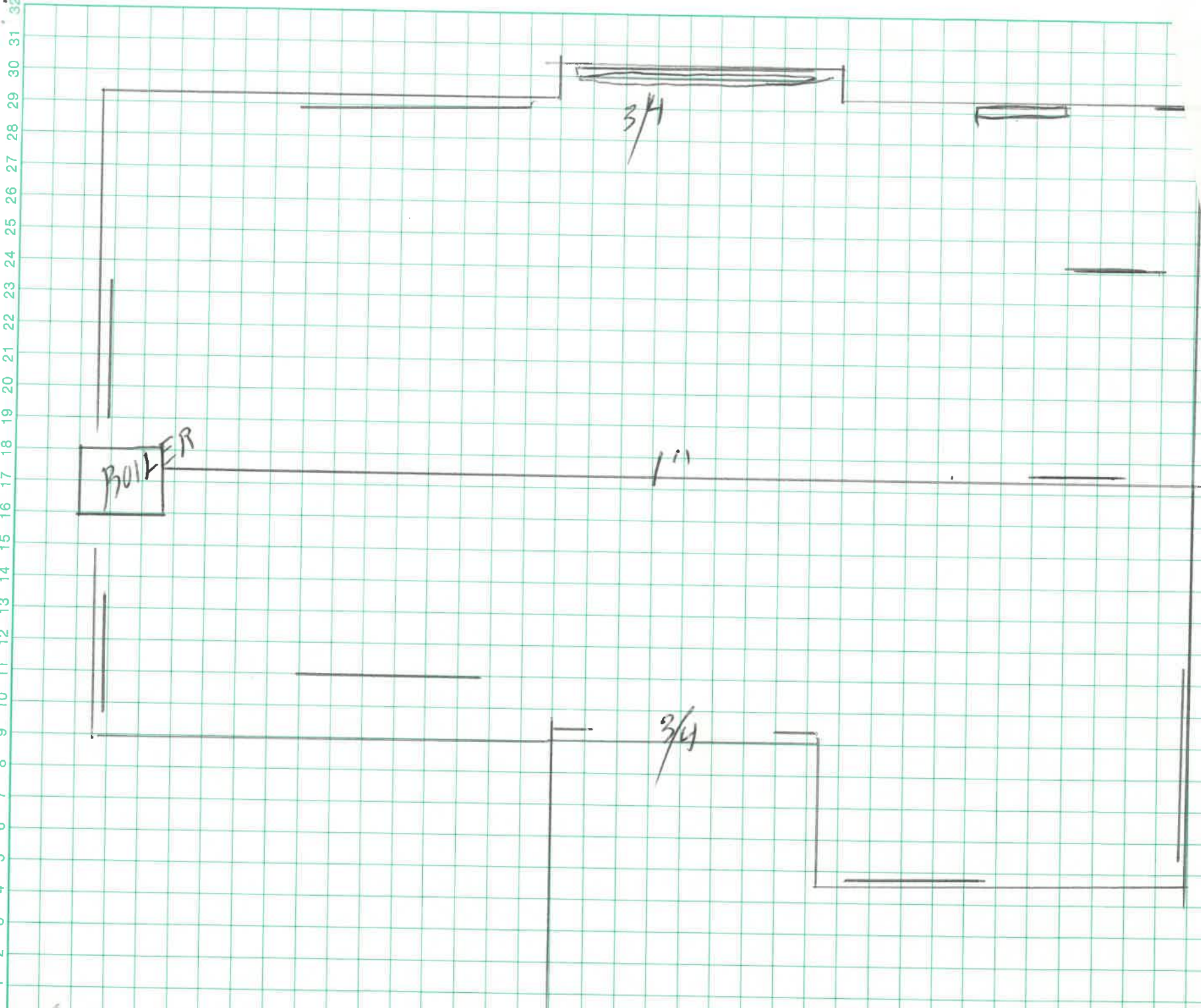
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

BOILER

3/4"

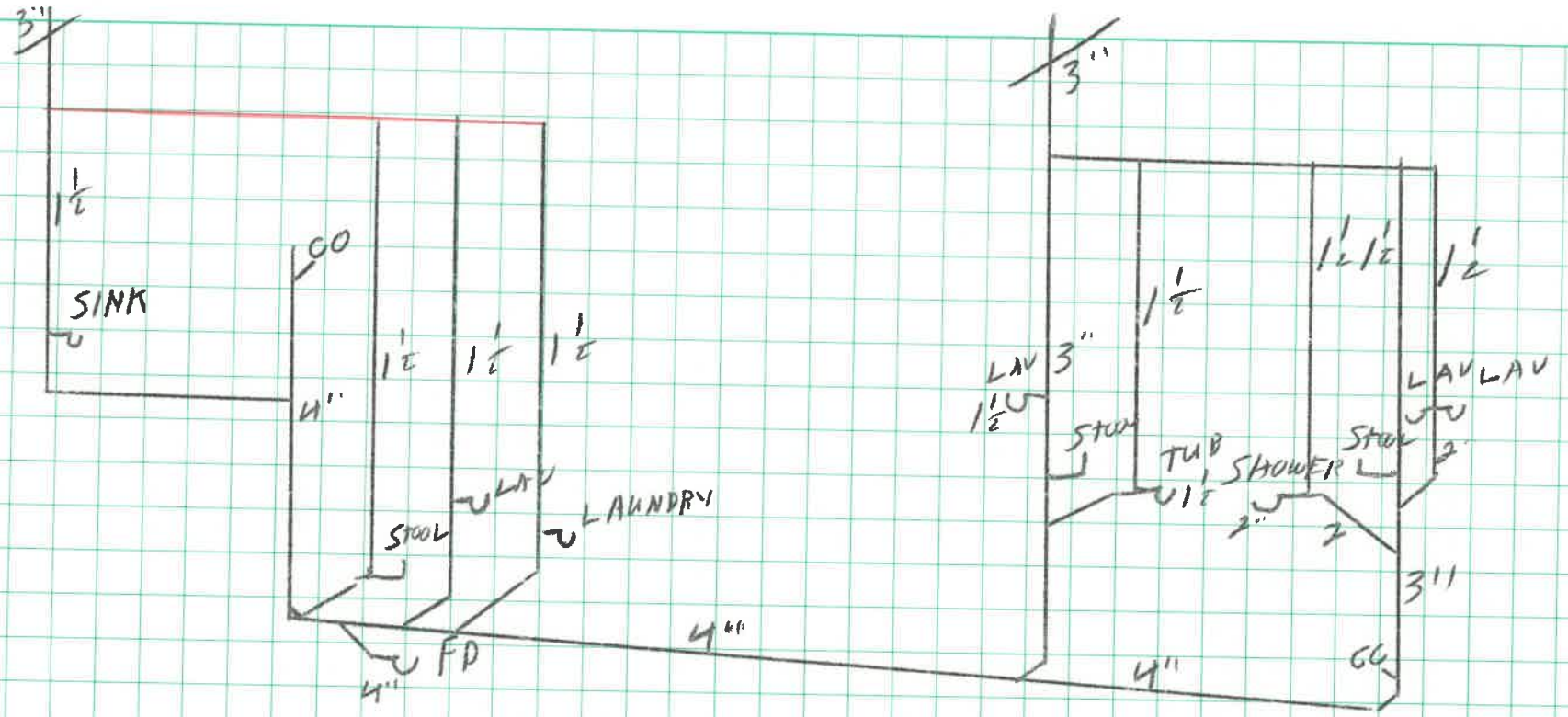
1"

3/4"





1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32





REACTIONS UNIF. LOAD

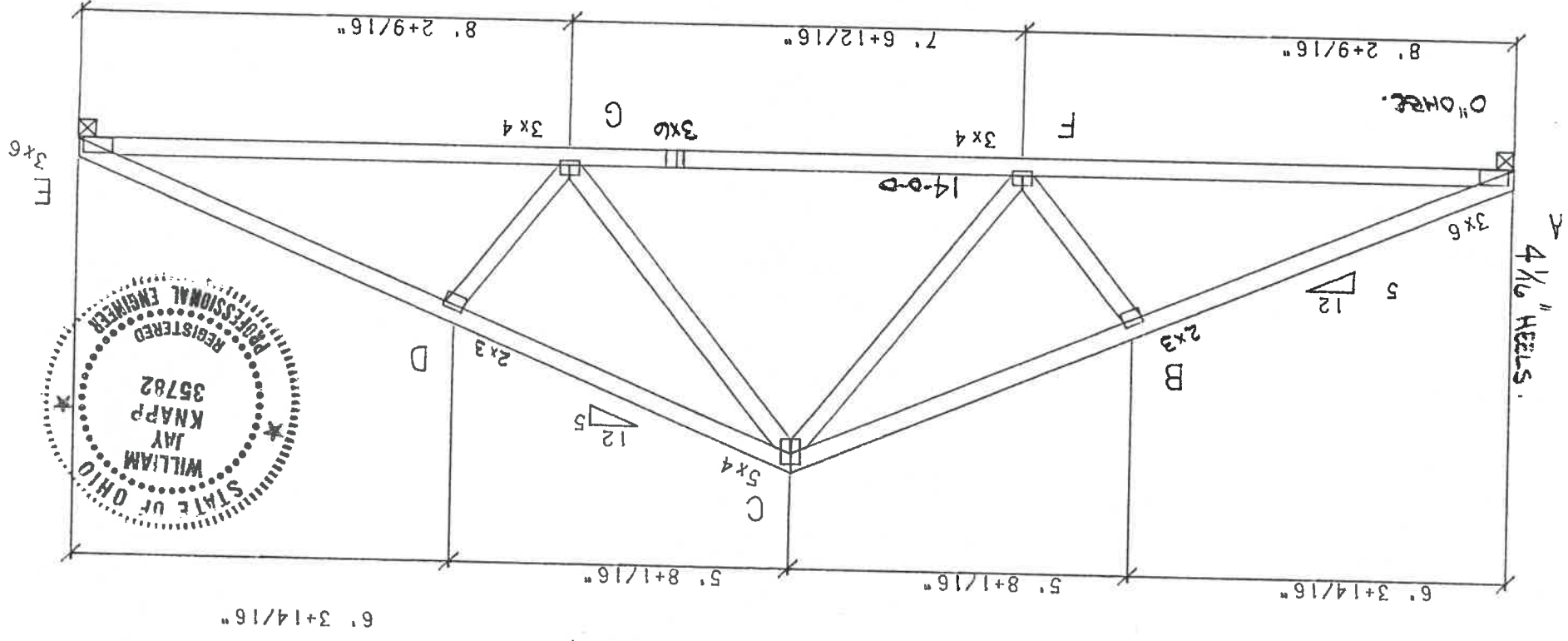
TOP L. 25
TOP D. 10
BOT D. 20

STR. INC. 15%
SPACING 24"

W. J. KNAPP

REGISTERED ENGINEER
2030 W. SANDUSKY ST.
FINDLAY, OHIO 45840

Field erection, handling, safety precautions, bracing of trusses are not the responsibility of the truss manufacturer, designer, or metal connector plate manufacturer; and therefore, the coverage of these items is not a part of these engineering drawings. Professional advice should be sought relative to erection, handling and bracing.



FORCES

Member	Force
A-B	-2387
B-C	-2133
C-D	-2133
D-E	-2387
A-F	2203
F-G	1486
G-E	2203
B-F	-390
F-C	786
C-G	786
G-D	-390

LOADING

Member	Load
A	211
B	410
C	397
D	410
E	211
F	310
G	310

TOP CHORD 2X4 NUMBER 2 SPKD
BOT CHORD 2X4 NUMBER 2 SPKD
WEBS 2X4 NUMBER 3 SPF

TOTAL SPAN 24 FT
OVERALL RISE 5' 4"
SCALE: 3/8

RIEBESSEL
24.0"

INDEX
INDEXED STRESS
ROOF TRUSS

24'0"

PAN: 24 FT 0 INCH 0 /16ths

NUMBER	2	SPKD	1800	900	1150
0.343	0.307	0.307	0.307	0.307	0.343
0.525	0.285	0.285	0.285	0.285	0.285
0.623	0.592	0.592	0.592	0.592	0.623
3	0.432	0.000	0.000	0.432	0.432

NUMBER	2	SPKD	1800	900	1150
0.405	0.405	0.273	0.273	0.405	0.405
1.567	0.567	0.567	0.567	0.567	0.567
1.973	0.973	0.841	0.841	0.973	0.973

DEPLETION = .2032281131125

0	0	0	0	0	0
0	0	0	0	0	0
0	4	4	4	4	0
0	0	0	0	0	0

5X4
3X4
3X4 3X5
3X4

ES USED PULLOUT 200 SHEAR 430 TENSION 600
GAL. PLATED USED UNLESS OTHERWISE SHOWN ON DRAWING

SHOWN ABOVE MUST BE
OR EQUAL TO 1.000***

7/0 live 25 T/C dead 10 B/C dead 20
EASE 1.15
NS 24 in. o/c

WAS PREPARED BY:
Building Components, Inc.
Baltimore, Ohio

BRACING WARNINGS !!!

shown on the accompanying drawing is NOT erection bracing,
portal bracing or similar bracing which is a part
ing design and which MUST BE considered by the
igner or erecting contractor. Bracing shown is for lateral
russ members only!!!! Additional bracing of the overall
y be required!!!!

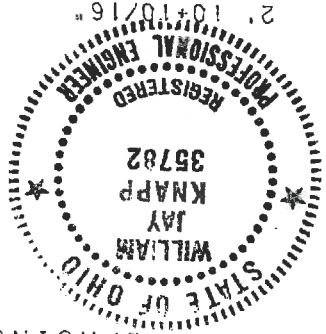
W/ WOOD TRUSS: COMMENTARY AND RECOMMENDATIONS ()

W. J. KNAPP
REGISTERED ENGINEER
2030 W. SANDUSKY ST.
FINDLAY, OHIO 45840

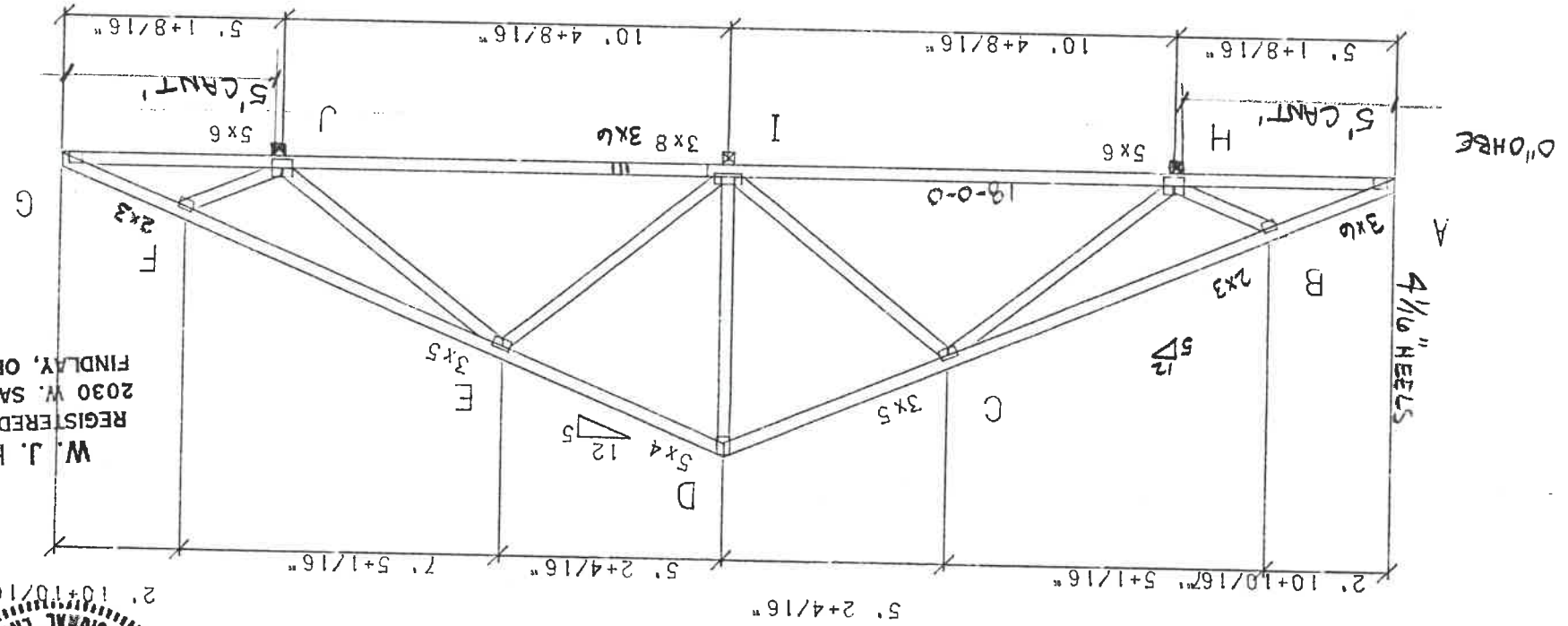


LOADING		FORCES	
A	101	A-B	529
B	361	A-H	-488
C	441	H-I	-37
D	363	C-D	127
E	441	D-E	127
F	361	E-F	938
G	101	F-G	529
		H-J	-37
		I-J	-37
		J-G	-488
		D-I	-460
		I-E	-104
		H-C	-107
		C-I	-104
		J-F	-429
		E-J	-107
		H-I	-37
		B-H	-429

Field erection, handling, safety precautions, bracing of trusses are not the responsibility of the truss manufacturer, designer, or metal connector plate manufacturer; and therefore, the coverage of these items is not a part of these engineering drawings. Professional advice should be sought relative to erection, handling and bracing.



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 2030 W. SANDUSKY ST.
 FINDLAY, OHIO 45840



TOP CHORD 2X4 NUMBER 2 SPKD
 BOT CHORD 2X4 NO. 2 DENSE SPKD
 WEBS 2X4 NUMBER 3 SPF
 TOTAL SPAN 31 FT
 OVERALL RISE 6' 9+8/16"
 SCALE: 1/4"
 RIEBESEL 31.0.

WOOD TRUSS INDEX

RIBBESEL 31'0"

W. J. KNAPP
REGISTERED ENGINEER
2030 W. SANDUSKY ST.
FINDLAY, OHIO 45840

OVERALL SPAN: 31 FT 0 INCH 0 / 16ths

TOP 2x 4 NUMBER 2 SPKD 1200 900 1150
 AXIAL 0.112 0.198 0.198 0.026 0.138 0.198 0.112
 BENDING 0.222 0.390 0.390 0.347 0.390 0.390 0.222
 TOP CSI 0.334 0.588 0.588 0.374 0.588 0.588 0.334
 PP BENDING 0.534 0.534 0.534 0.000 0.534 0.534 0.534

BOT 2x 4 NO.2 DENSE SPKD 2100 1050 1350
 AXIAL 0.059 0.059 0.004 0.004 0.004 0.004 0.059
 BENDING 0.707 0.707 0.873 0.873 0.873 0.707 0.707
 BOT CSI 0.767 0.767 0.877 0.877 0.877 0.767 0.767
 TOTAL LOAD DEFLECTION = 0

W-BRACE	0	0	0	0	0	0
V-BRACE	0	0	0	0	0	0
W-SIZE	0	4	4	4	4	0
V-SIZE	0	0	0	4	0	0

3X4	3X4	3X5	5X4	3X5	3X4	3X4
		5X6		3X8		5X6

PLATE VALUES USED PULLOUT 200 SHEAR 430 TENSION 500
 TEE-LOK 20 GA. PLATES USED UNLESS OTHERWISE SHOWN ON DRAWING

****CSI'S SHOWN ABOVE MUST BE
 LESS THAN OR EQUAL TO 1.000***

LOADING: T/C live 25 T/C dead 10 B/C dead 20
 STRESS INCREASE 1.15
 TRUSS SPACING 24 in. o/c

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 North Baltimore, Ohio

BRACING WARNINGS !!!

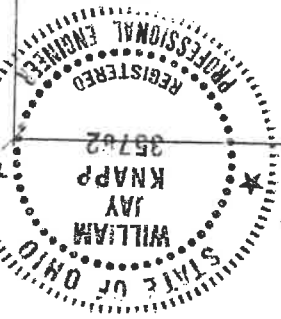
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 see BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS!!!



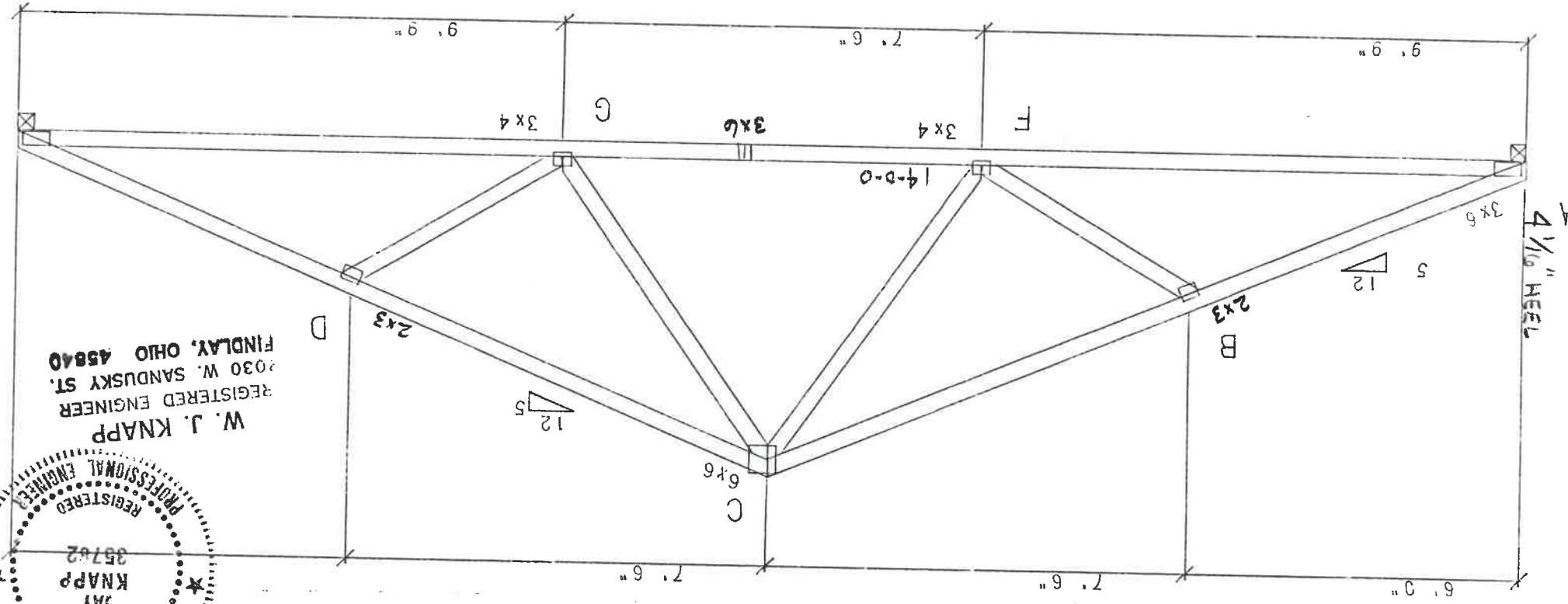
LOADING		FORCES	
A	200	A-B	-2766
B	462	A-F	2553
C	525	B-C	-2289
D	462	F-G	1692
E	200	C-D	-2289
		D-E	-2766
		G-E	2553
		F-C	748
		C-G	748
		B-F	-520
		G-D	-520

REACTIONS UNIF. LOAD
 TOP L. 25
 TOP D. 10
 BOT D. 20

Field erection, handling, safety precautions, bracing
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 2030 W. SANDUSKY ST.
 FINDLAY, OHIO 45840



TOP CHORD 2X4 NUMBER 2 SPKD
 BOT CHORD 2X4 NUMBER 2 SPKD
 WEBS 2X4 NUMBER 3 SPF
 TOTAL SPAN 27 FT
 OVERALL RISE 5' 11+8/16"
 SCALE : 3/8
 RIEBESEL
 27' NO-CANT.

CONCRETE STRESS JOIST
ROOF TRUSS

RIESEL 27' NO-CANT

OVERALL SPAN: 27 FT 0 INCH 0 /16ths

TOP 2x 4 NUMBER 2 SPKD 1800 900 1150
 AXIAL 0.398 0.329 0.322 0.329 0.329 0.329 0.329
 BENDING 0.363 0.398 0.398 0.305 0.398 0.363
 TOP CSI 0.761 0.727 0.727 0.727 0.727 0.761
 PP BENDING 0.611 0.000 0.000 0.611 0.611

BOT 2x 4 NUMBER 2 SPKD 1600 900 1150
 AXIAL 0.469 0.409 0.311 0.311 0.469 0.469
 BENDING 0.685 0.685 0.685 0.685 0.685 0.685
 BOT CSI 1.155 1.155 0.997 0.997 1.155 1.155
 TOTAL LOAD DEFLECTION = .2579123327325

W-BRACE 0 0 0 0 0 0
 V-BRACE 0 0 0 0 0 0
 W-SIZE 0 4 4 4 4 4
 V-SIZE 0 0 0 0 0 0

3X5 3X4 6X6 3X4 3X5
 3X4 3X4

PLATE VALUES USED PULLOUT 200 SHEAR 430 TENSION 500
 TEE-LOK 20 GA. PLATES USED UNLESS OTHERWISE SHOWN ON DRAWING

****CSI'S SHOWN ABOVE MUST BE
 LESS THAN OR EQUAL TO 1.000***

LOADING: T/C live 25 T/C dead 10 B/C dead 20
 STRESS INCREASE 1.15
 TRUSS SPACING 24 in. o/c

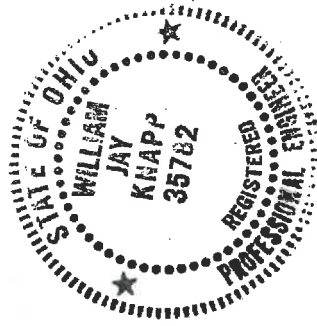
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 (see BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS)

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 FINDLAY, OHIO 45840



LOADING

FORCES

REACTIONS	UNIF. LOAD	TOP L.	TOP D.	BOT D.
F 200	A-B 859	A-F -792	F-B -1827	F-G 24
G 237	B-C -774	F-G 24	B-G 872	G-H 899
H 340	C-D -1410	G-H 899	G-C -349	H-E 1698
	D-E -1840	H-E 1698	C-H 762	
			H-D -501	

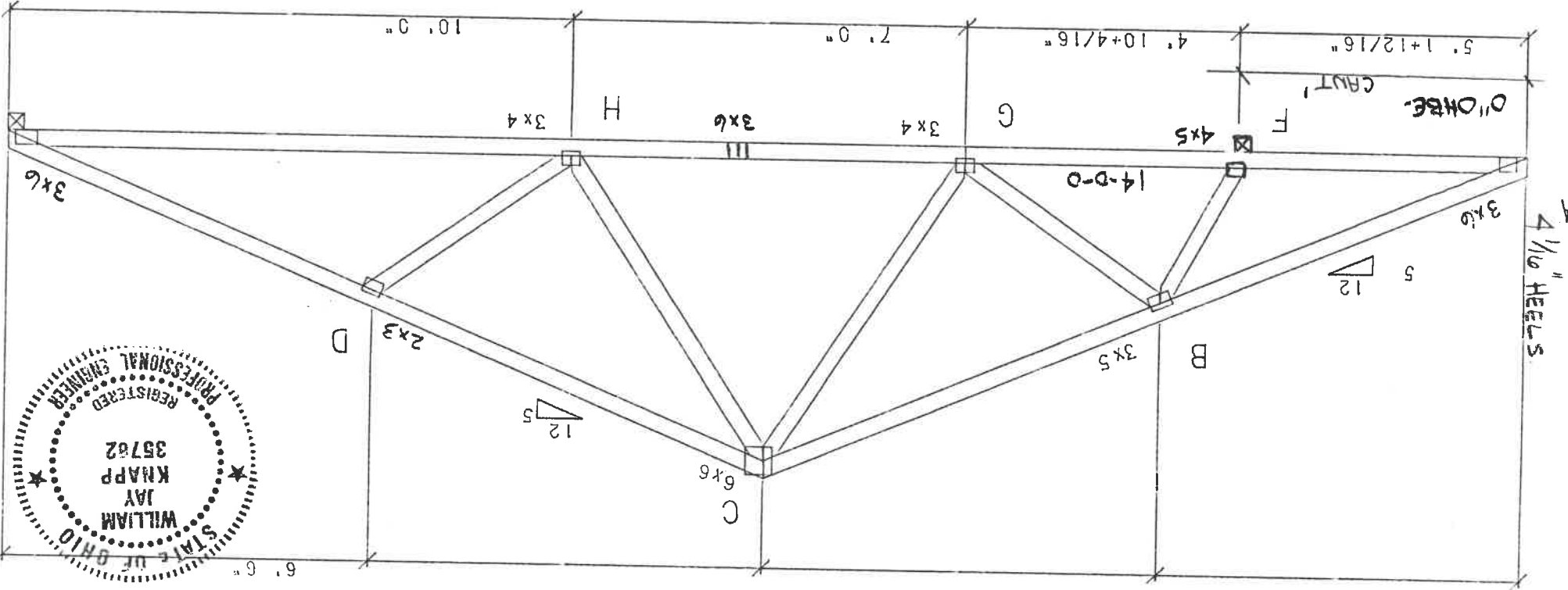
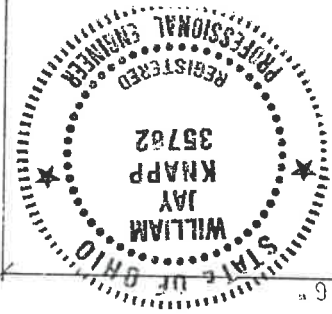
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FINDLAY, OHIO 45840

7.0"

7.0"

6.6"



TOP CHORD 2X4 NUMBER 2 SPKD
BOT CHORD 2X4 NUMBER 2 SPKD
WEBS 2X4 NUMBER 3 SPF

TOTAL SPAN 27 FT
OVERALL RISE 5' 11+8/16"
SCALE: 3/8

RIEBESEL
27 JAN 71

COINED IN WOOD STRUSS FOR TRUSS

INDEX

REQUIRED 27' CAUT'

OVERALL SPAN: 27 FT 0 INCH 0 /16ths

TOP 2x 4 NUMBER 2 SPKD 1800 900 1150
 AXIAL 0.181 0.181 0.111 0.111 0.203 0.203 0.265
 BENDING 0.379 0.379 0.379 0.379 0.363 0.363 0.363
 TOP CSI 0.561 0.561 0.491 0.491 0.566 0.566 0.628
 PP BENDING 0.553 0.553 0.000 0.000 0.553 0.553

BOT 2x 4 NUMBER 2 SPKD 1800 900 1150
 AXIAL 0.114 0.004 0.054 0.165 0.165 0.312 0.312
 BENDING 0.236 0.375 0.375 0.722 0.722 0.722 0.722
 BOT CSI 0.350 0.380 0.580 0.888 0.888 1.035 1.035
 TOTAL LOAD DEFLECTION = 2.82380034E-02

W-BRACE 0 0 0 0 0 0 0
 V-BRACE 0 0 0 0 0 0 0
 W-SIZE 0 4 4 4 4 4 4
 V-SIZE 0 0 0 0 0 0 0

3X4 3X5 6X6 3X4 3X5
 3X4 3X4

PLATE VALUES USED - PULLOUT 200 SHEAR 430 TENSION 600
 TRUSS-LEG 20 GA. PLATES USED UNLESS OTHERWISE SHOWN ON DRAWING

ROSI'S SHOWN ABOVE MUST BE LESS THAN OR EQUAL TO 1.000

LOADING: T/C live 25 T/C dead 10 B/C dead 20
 STRESS INCREASE 1.15
 TRUSS SPACING 24 in. o/c

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*** BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS ***



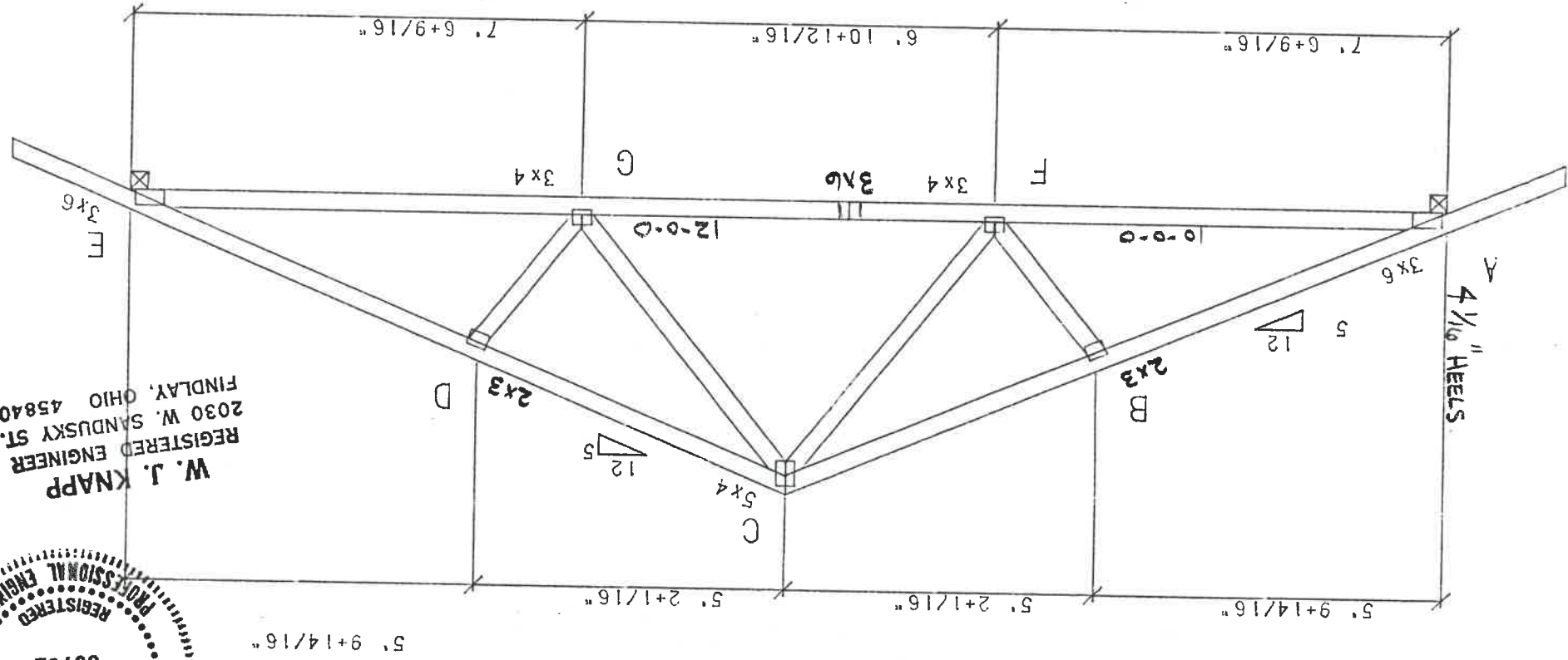
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 REGISTERED ENGINEER
 2030 W. SANDUSKY ST.
 FINDLAY, OHIO 45840

LOADING		FORCES	
A	194	A-B	-2181
B	375	F	283
C	352	A-F	2013
D	375	B-C	-1950
E	194	C-D	-1950
		D-E	-2181
		A-F	2013
		F-G	1360
		B-F	-356
		F-C	719
		C-G	719
		G-D	-356

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FINDLAY, OHIO 45840



TOP CHORD 2X4 NUMBER 2 SPKD
BOT CHORD 2X4 NUMBER 2 SPKD
MEBS 2X4 NUMBER 3 SPF

TOTAL SPAN 22 FT
OVERALL RISE 4' 11"
SCALE: 3/8

RIEBESEL
22'

COMBINED GYRFIBES

INDEX

RIBBEL 22

OVERALL SPAN: 22 FT 0 INCH 0 /16ths

TOP 2x 4 NUMBER 2 SPKD 1800 900 1150
 AXIAL 0.314 0.280 0.280 0.280 0.280 0.280 0.314
 BENDING 0.238 0.238 0.238 0.238 0.238 0.238 0.238
 TOP CSI 0.553 0.519 0.519 0.519 0.519 0.519 0.553
 PP BENDING 0.359 0.000 0.000 0.359 0.359 0.359

BOT 2x 4 NUMBER 2 SPKD 1800 900 1150
 AXIAL 0.370 0.370 0.250 0.250 0.370 0.370 0.370
 BENDING 0.474 0.474 0.474 0.474 0.474 0.474 0.474
 BOT CSI 0.844 0.844 0.724 0.724 0.844 0.844 0.844
 TOTAL LOAD DEFLECTION = .16997855815

W-BRACE	0	0	0	0	0	0
V-BRACE	0	0	0	0	0	0
W-SIZE	0	4	4	4	4	4
V-SIZE	0	0	0	0	0	0

3X6 3X4 5X4 3X4 3X6
 3X4 3X4

PLATE VALUES USED PULLOUT 200 SHEAR 420 TENSION 600
 TEE-LOK 20 GAL. PLATES USED UNLESS OTHERWISE SHOWN ON DRAWING

****CSI'S SHOWN ABOVE MUST BE
 LESS THAN OR EQUAL TO 1.000****

LOADING: T/C live 25 T/C dead 10 B/C dead 20
 STRESS INCREASE 1.15
 TRUSS SPACING 24 in. o/c

THIS REPORT WAS PREPARED BY:

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 North Baltimore, Ohio

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(see BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS)



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 FINDLAY, OHIO 45840

LOADING

FORCES

Member	Reaction	Member	Force
A-75	M 13	A-B	M-N 1624
B-200	N 26	B-C	N-O 3820
C-250	O 25	C-D	O-P 5354
D-250	P 25	D-E	P-Q 6228
E-193	Q 20	E-F	Q-R 6436
F-137	R 20	F-G	R-S 6228
G-137	S 25	G-H	S-T 5354
H-193	T 25	H-I	T-U 3820
I-250	U 26	I-J	U-V 1624
J-250	V 13	J-K	V-W 2738
K-200		K-L	
L-75			

REACTIONS

UNIF. LOAD
TOP L. 40
TOP D. 10
BOT D. 5

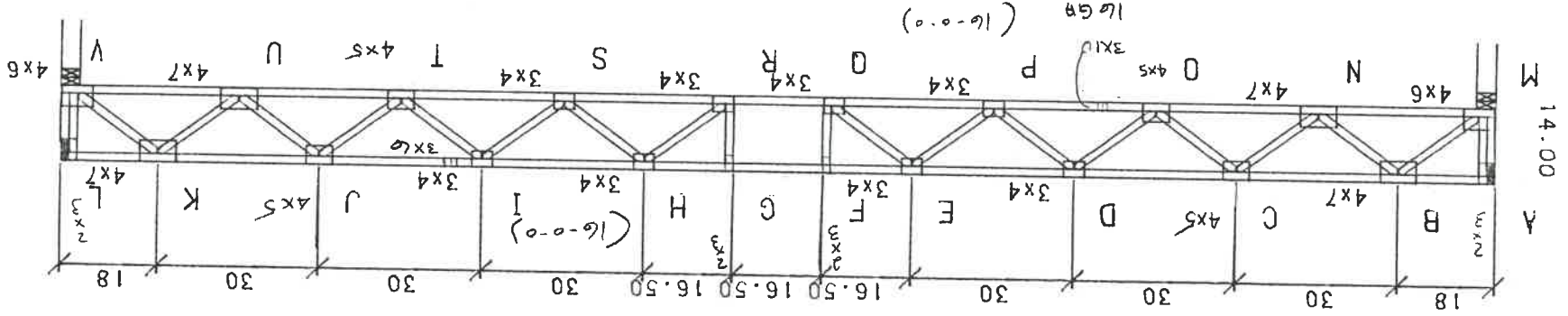
M -1216
V -1216

STR. INC. %
SPACING 24.0



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FINDLAY, OHIO 45840

2X4
RIBS



TOP CHORD 2X4 NO.1 DENSE SPKD
BOT CHORD 2X4 NO.1 DENSE SPKD
WEBS 2X4 NUMBER 3 SPF

SPAN 22 FT 1.5 IN

RIEBESEL
22.1 1/2"

COMBINED STRESSES INDEX 4 X 2 PLATES

RIEDEL 22'1 1/2"

TOP 2X 4 NO.1 DENSE SPKD	2150	1250	1700								
AXIAL	0.306	0.000	0.515	0.000	0.650	0.000	0.721	0.721	0.721	0.721	0.721
	0.000	0.650	0.000	0.515	0.000	0.306					
BENDING	0.141	0.000	0.175	0.000	0.175	0.000	0.141	0.052	0.052	0.141	0
	0.000	0.175	0.000	0.175	0.000	0.141					
TOP CSI	0.448	0.000	0.630	0.000	0.825	0.000	0.563	0.774	0.774	0.863	0
	0.000	0.825	0.000	0.630	0.000	0.448					
BOT 2X 4 NO.1 DENSE SPKD	2150	1250	1700								
AXIAL	0.000	0.582	0.000	0.815	0.000	0.949	0.000	0.980	0.980	0.000	0
	0.949	0.000	0.815	0.000	0.582	0.000					
BENDING	0.000	0.019	0.000	0.017	0.000	0.013	0.000	0.015	0.015	0.000	0
	0.000	0.017	0.000	0.019	0.000	0.013					
BOT CSI	0.000	0.601	0.000	0.833	0.000	0.967	0.000	0.996	0.996	0.000	0
	0.967	0.000	0.833	0.000	0.601	0.000					
OPEN PANEL STRESS RATIO											
TOP	BOT	PAN.NO.	LENGTH	NO.CDS	SHEAR	AXIAL	BEND				
0.72	0.98	9	8.25	2	0	6436	0				

TOTAL LOAD DEFLECTION = .7924702167373

PLATE VALUES USED PULLOUT 200 SHEAR 402 TENSION 552
 TEE-LOK 20 GA. PLATES USED UNLESS OTHERWISE SHOWN ON DRAWING

****CSI'S SHOWN ABOVE MUST BE
 LESS THAN OR EQUAL TO 1.00****

DEPTH OF TRUSS 14 in.
 LOADING: T/C 1ive 40 T/C dead 10 B/C dead 5
 STRESS INCREASE 1
 TRUSS SPACING 24 in. o/c

THIS REPORT WAS PREPARED BY:
 Automated Building Components, Inc.
 North Baltimore, Ohio



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 REGISTERED ENGINEER
 2030 W. SANDUSKY ST.
 FINDLAY, OHIO 45840

CERTIFICATE OF OCCUPANCY
THE CITY OF NAPOLEON

ENGINEERING DEPARTMENT
DIVISION OF INSPECTION

This is to certify that the Building or Land as herein described complies with all the building and health laws and ordinances and with the provisions of the Zoning Ordinance.

Location of Occupancy 10 Lakeview Drive Occupancy 1 - Fam. Residence

Owner of Property John Ribesell Address 10 Lakeview Drive

Issued to German Builders Address 970 Oakwood

Zoning S - Residential Bldg. Permit No. 01332

Substantial qualifications of occupancy None

This certificate is issued by the City Building Inspector, as provided by law, and is to certify that construction is completed substantially in conformity with the approved plans and permission is hereby granted to occupy such building in compliance with such legal use and occupancy as authorized under the provisions of the ordinances of the City of Napoleon.

Issued this 3 day of June 19..88

Signed Eldon City Building Inspector
Huber

